

OFFICER REPORT FOR COMMITTEE

DATE: 14/09/2022

**P/22/0891/FP
MR AND MRS RAVEN**

**FAREHAM NORTH-WEST
D M DESIGNS**

LOFT CONVERSION INCORPORATING HIP TO GABLE ENDS, FRONT AND REAR DORMERS

71 HIGHLANDS ROAD, FAREHAM

Report By

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1.0 Introduction

- 1.1 This application is being reported to the Planning Committee to be decided, due to the number of third-party representations received.

2.0 Site Description

- 2.1 The application relates to a detached dwelling on the southern side of Highlands Road. The property is accessed off a private drive between 69 and 75 Highlands Road and is a bungalow which was granted planning permission in 2015, as a backland development. The land levels fall gradually to the south from Highlands Road.
- 2.2 The property is within the designated urban area.

3.0 Description of Proposal

- 3.1 Planning permission is sought for the conversion of the loft space by building the roof up to form gable ends either side and the construction of a front and rear dormer window.
- 3.2 The front dormer is proposed at a modest size with a pitched roof. The rear dormer would be larger and of a flat roof design, set in within the roof slope.

4.0 Policies

- 4.1 The following policies apply to this application:

Approved Fareham Borough Core Strategy

CS17 - High Quality Design

Adopted Development Sites and Policies

DSP3 – Impact on living conditions

5.0 Relevant Planning History

- 5.1 P/15/0011/FP – Proposed detached dwelling, carport and associated car parking and landing in garden to rear of 69 & 75 Highlands Road – Permission 02-03-15

6.0 Representations

- 6.1 Ten letters of representation have been received raising the following concerns: -
- Understanding that the bungalow was built with the proviso that it was only to be single storey building and a second storey would not be allowed
 - The front aspect of this development will severely compromise the privacy currently enjoy
 - Loss of privacy
 - Block out the sun from garden
 - The design of the property is aesthetically unpleasant and will dominate the view from neighbour's houses
 - At present there is some protection of privacy due to screening trees and bushes. This screen also provide protection to occupiers of those affected in Frosthole Close and others in Bartlett Close who could lose a valuable share of that privacy if they were to be removed
 - Any extension to the roof space would be unacceptable and overpowering
 - Loss of property value

7.0 Consultations

None

8.0 Planning Considerations

- 8.1 The following matters represent the key material planning considerations which need to be assessed to determine the suitability of the development proposal. The key issues comprise:

- a) Impact on neighbouring properties
- b) Impact on the character and appearance of the area
- c) Other matters

a) Impact on neighbouring properties

- 8.2 The point has been raised that when the dwelling was granted planning permission a proviso was attached that no second storey would be allowed. Officers can confirm that when permission was granted for the property a condition was attached to the permission which removed the permitted development rights to carry out roof extensions. Members will be aware that various roof extensions can normally be carried out without the need for planning permission. As a result of the condition being imposed, the roof cannot be extended without planning permission firstly being obtained. A planning application has been submitted for the works which neighbours have been invited to comment upon and which the Planning Committee are able to determine.
- 8.3 A comment has been made that the front aspect of the development will severely compromise the privacy to the rear of the neighbour's property. The front of the property will change with the hips at the sides of the property being replaced with gable ends and the construction of a front dormer window. The front dormer window will look towards the rear of the properties 69 and 75 Highlands Road. The window within the dormer is less than 11 metres to the party boundary and less than 22 metres to the neighbour's windows, these being the recommended minimum separation distances in the Council's adopted Design Guidance, to maintain privacy. In light of this, it is recommended that a planning condition be imposed on the window within the front dormer requiring it to be fitted with obscure glass and fixed shut up to a height of not less than 1.7 metres above internal floor level to safeguard the privacy of neighbouring properties.
- 8.4 Concerns have also been raised that the rear dormer will create overlooking and loss of privacy to the neighbouring properties to the rear. As the property is a development that was built with the rear garden of a property it is surrounded by many properties that have views of the dwelling.
- 8.5 The rear dormer has been assessed in line with the Council's adopted Design Guidance Supplementary Planning Document. The rear dormer window will be at least 11 metres to the rear boundary. The Council also seeks to ensure at least 22 metres between facing windows. The specific siting of the bungalow means that there would not be any true 'back to back' relationships. The windows within the rear dormer window would have oblique views of the windows in the properties in Bartlett Close to the south. The rear of the application bungalow is orientated more towards properties in Frosthole Crescent where the distance between the rear windows in these properties and the windows in the rear dormer window are well in excess of 22 metres.
- 8.6 Whilst it is acknowledged that the ground levels are slightly lower to the south of the application site, the 11 metre distance to the boundary does fall at the

bottom of the adjoining rear garden and is therefore considered to be a less sensitive area for overlooking. Officers do not believe that the rear dormer window would give rise to unacceptable adverse impact upon the privacy of neighbouring properties.

- 8.7 Concern has also been raised that the development will impact on neighbouring outlook and sunlight and create overshadowing. The closest property to the development is 13 metres away with back gardens bordering all the boundaries of the site. Officers are of the view that the additional roof volume will not have an unacceptable adverse impact on the surrounding neighbours with regards to loss of light, outlook or overshadowing.

b) Impact on the character and appearance of the area

- 8.8 Due to the location of the of the property being a backland development there are very limited views of the property. The front alterations can be partly viewed at a distance when looking down the private drive from Highlands Road. The modest size pitched roof dormer and gable ends are considered of an appropriate design and sit comfortably within the area.
- 8.9 The rear elevation of the property can only be viewed from the surrounding neighbouring properties. A large rear dormer is proposed on this elevation which is a common design found on the rear of bungalows. The dormer has been reduced slightly since it was originally submitted by setting it further within the roof slope. The area is made up of various different house types and with the limited views of the property, Officers are satisfied that the character of the area would not be unacceptably harmed.

c) Other matters

- 8.10 Concern has been raised that the development would affect the value of the neighbouring properties. The impact upon the value of neighbouring properties it is not a material planning consideration which Members can take into account when deciding the planning application.
- 8.11 In summary, Officers consider that the design of the roof alterations are acceptable, and they would not unacceptably harm the character of the area. Furthermore, the alterations would not have an unacceptable adverse impact upon the light, outlook or privacy of neighbouring properties.
- 8.12 Notwithstanding the representations received, the development is considered to comply with the Council's planning policies subject to the imposition of conditions.

9.0 Recommendation

9.1 GRANT PLANNING PERMISSION, subject to the following conditions:

1. The development hereby permitted shall be begun before the expiration of a period of three years from the date of this decision notice.

REASON: To allow a reasonable time period for work to start, to comply with Section 91 of the Town and Country Planning Act 1990, and to enable the Council to review the position if a fresh application is made after that time.

2. The development shall be carried out in accordance with the following approved documents:

a) Proposed Elevations and Floor Plans - DRAWING NO: 1 OF 1
RAVEN_01A Revision B

REASON: To avoid any doubt over what has been permitted

3. The first-floor window proposed to be inserted into the north-west (front) elevation of the approved development shall be:

a) Obscure-glazed; and

b) Of a non-opening design and construction to a height of not less than 1.7 metres above internal finished floor level;

and shall thereafter be retained in that condition at all times.

REASON: To prevent overlooking and to protect the privacy of the occupiers of the adjacent property.

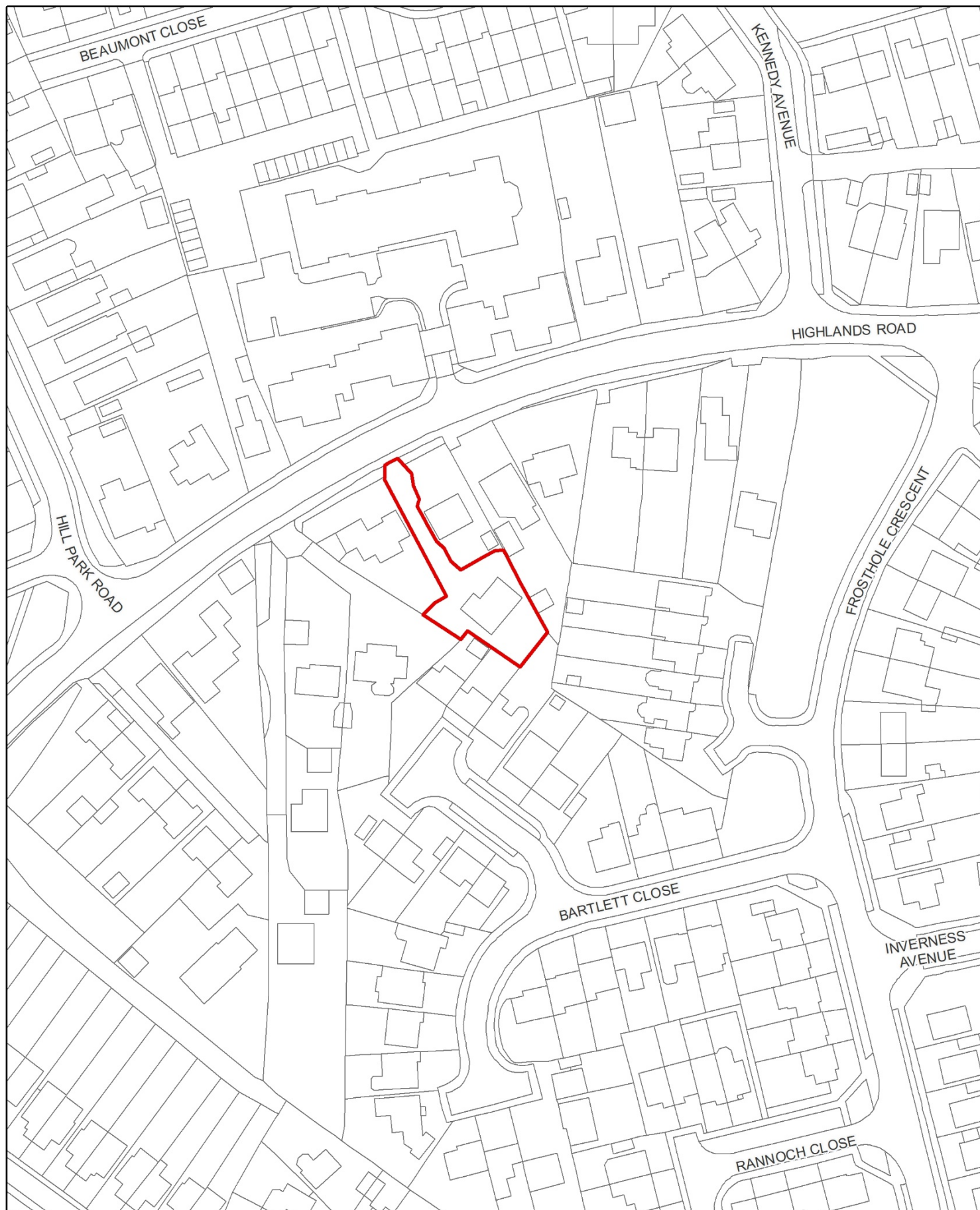
10.0 Background Papers

- 10.1 Application documents and all consultation responses and representations received as listed on the Council's website under the application reference number, together with all relevant national and local policies, guidance and standards and relevant legislation.

P/15/0011/FP and P/22/0891/FP

FAREHAM

BOROUGH COUNCIL



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Fareham
Scale 1:1,250



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